

wood trusses @ 2'-0" o.c.

hallway 103 changing rm. / storage

R-38

104

2" rigid insulation 2'-0" ea. way R-12

section C-C scale:  $\frac{1}{4}$ " = 1'-0"



mat l.s legend:

(1) continuous ridge vent

30 yr. dimensional asphalt shingles over 30 lb. roof papaer

5 composite trim (boral or approved equal)
4 typ. for all flat stock and moldings @ fascias, rakes, frieze boards, & casings

andersen 400 series full frame TW insert windows

5 refer to dwg. A-1 for specifications

douglas fir exterior door (simpson or approved equal) with

low-e safety sdl safety glass, lever / lock set and barrier-free saddle.

simulated cedar shake composite siding

simulated composite clap board siding refer to dwg. A-1 for

composite screened

5" K-Style aluminum gutter w/ leaf screens, matching rectanular gutters and concrete splash blocks.

specifications & alternate.

22 gauge standing seam copper roofing

## EDWARD MATTHEW O'BRIEN

REGISTERED
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#### project title

proposed golf house learning center @ monmouth university department of athletics 400 cedar avenue

## drawing title:

east elevation

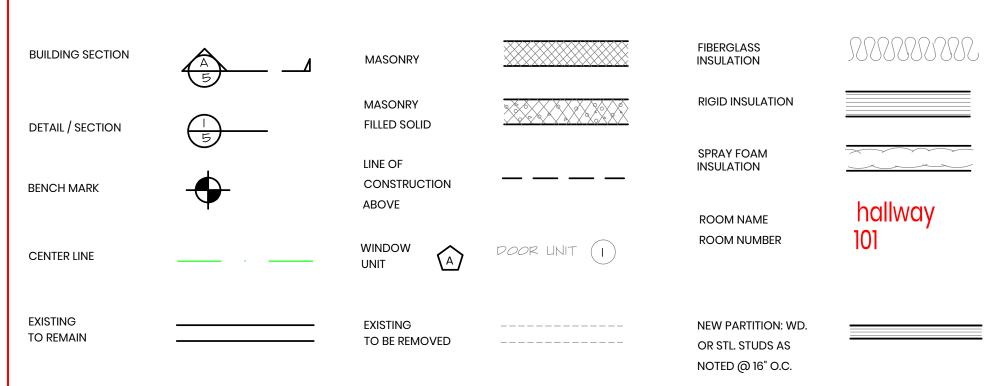
Drawn By: eob

Project Number: 2084.18

Final Date: 10-04-19



#### architectural symbols & legend



#### aeneral buildina data:

LAND AREA DISTURBED 2,000 S.F. +/-HEIGHT OF STRUCTURE FLOOD HAZARD ZONE SEE SITE PLAN AREA - LARGEST FLOOR 3.178 S.F. +/ BASE FLOOD ELEVATION SEE SITE PLAN ALLOWABLE: 14,500 S.F. (NS) WETLANDS SEE SITE PLAN 1,811 S.F. +/ NEW BUILDING AREA VOLUME OF NEW STRUCTURE 31,591 C.F. +/-LIVE LOAD REQUIREMENTS: FIRST FLOOR: 120 MAX. OCCUPANCY LOAD 2 EXITS PROVIDED TRAVEL DISTANCE REQUIRED: 200 ' PROVIDED: USE GROUP CONSTRUCTION CLASSIFICATION

### general conditions:

THE CONTRACTOR SHALL COMPLETE THE PROJECT USING ONLY THE BEST MATERIALS AND THE HIGHEST DEGREE OF WORKMANSHIP.

THE CONTRACTOR SHALL INSPECT THE SITE BEFORE SUBMITTING A BID AND VERIFY ALL FIELD CONDITIONS, DIMENSIONS, AND CROSS REFERENCE DRAWINGS AND SPECIFICATIONS.

IN ALL CASES, MANUFACTURER'S INSTALLATION DETAILS SHALL BE STRICTLY FOLLOWED. ALL OFF-SITE FABRICATION SHALL BE BASED UPON FIELD MEASUREMENTS.

THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES, HEALTH REQUIREMENTS, LAWS OF THE STATE AND MUNICIPALITY, AND SHALL BE SOLELY RESPONSIBLE FOR ALL OSHA REQUIREMENTS AND SAFETY PRECAUTIONS, DAMAGE TO OWNER'S PROPERTY OR ADJACENT PROPERTY, AND HOLD THE OWNER AND ARCHITECT HARMLESS FROM DAMAGES AND INJURIES. CERTIFICATES OF INSURANCE SHALL BE PROVIDED PRIOR TO STARTING THE WORK.

THE CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS REQUIRED BY ANY MUNICIPALITY, OR PUBLIC AUTHORITY HAVING JURISDICTION FOR THE WORK CALLED FOR BY THIS CONTRACT, SHALL COOPERATE IN OBTAINING THE SAME. THE COST OF ALL PERMITS AND FEES SHALL BE PAID BY THE OWNER.

ALL DIMENSIONS ARE TAKEN TO THE ROUGH. DO NOT SCALE THE DRAWINGS. SPECIFICATIONS GOVERN DRAWINGS.

DETAILS AND SECTIONS ARE SHOWN AT SPECIFIC LOCATIONS INTENDING TO SHOW CONDITIONS THROUGHOUT. "TYPICAL" IMPLIES ALL CONDITIONS TREATED THE SAME.

THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES OR SUBSTITUTIONS. ANY VARIATION IN THE SCOPE OF THE WORK SHALL BE PRESENTED IN THE FORM OF A WRITTEN CHANGE ORDER, QUOTING THE EXTRA / CREDIT, AND SIGNED BY THE OWNER PRIOR TO STARTING THE WORK.

ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR PAST THE ACCEPTANCE OF THE ARCHITECT'S PUNCH LIST.

THE CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL COSTS FOR SANITARY CONVENIENCES, DUMPSTERS, WEEKLY DEBRIS REMOVAL, POWER & TEMPORARY WATER, AND STORAGE REQUIREMENTS.

WITH RENOVATIONS, THE CONTRACTOR SHALL PATCH TO MATCH ALL DISTURBED AREAS INCLUDING FLOORING, WALLS, CEILINGS, TRIM, AND APPLY PRIMER PAINT WHERE REQUIRED.

THE OWNER HAS OBTAINED FROM THE ARCHITECT AND ENGINEERS AND FURNISHED TO THE CONTRACTOR ALL DRAWINGS AND SPECIFICATIONS AS MAY BE

NECESSARY TO ILLUSTRATE THE WORK.

THE OWNER SHALL ADEQUATELY INSURE THE BUILDING AND/OR THE WORK AND MATERIALS AGAINST LOSS BY FIRE, WITH EXTENDED COVERAGE ON THE WORK AS IT IS BEING CONSTRUCTED.

ALL SERVICES AND WORK PERFORMED AND MATERIALS DELIVERED TO THE PREMISES REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL INSTALLED.
ALL NOTICES UNDER THIS CONTRACT MUST BE IN WRITING. THE NOTICES MUST BE DELIVERED PERSONALLY OR MAILED BY CERTIFIED MAIL, RETURN RECEIPT REQUESTED, TO THE OTHER PARTY AT THE ADDRESS WRITTEN IN THIS CONTRACT. ALL COMMUNICATIONS BETWEEN OWNER AND CONTRACTOR(S) DURING BIDDING AND CONSTRUCTION SHALL BE THROUGH OR COPIED TO THE OFFICE OF THE ARCHITECT.

THE OWNER AGREES THAT THE ACCEPTANCE OF THE ARCHITECT'S PUNCH LIST SHALL CONSTITUTE A FULL ACCEPTANCE OF THE CONSTRUCTION AND A WAIVER OF ANY AND ALL CLAIMS WHATEVER AGAINST THE CONTRACTOR FOR ANY CAUSE EXCEPT WARRANTIES AND GUARANTEES, AND NONE OF THE TERMS OF THIS CONTRACT SHALL SURVIVE THE DELIVERY OF THE COMPLETED ARCHITECT'S PUNCH LIST AND THE ACCEPTANCE THEREOF BY THE OWNER. FINAL PAYMENT FROM OWNER REQUIRES A RELEASE OF ALL LIENS ON PROPERTY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE ACTIONS BY SUB-CONTRACTORS AND SUPPLIERS. REGARDING UNDERGROUND SEPTIC, SEWER, PIPE, CONDUIT OR OTHER SUBTERRANEAN APPARATUS, THE CONTRACTOR TAKES FULL RESPONSIBILITY FOR DAMAGE DONE BY HEAVY EQUIPMENT OR SUB-CONTRACTOR'S ACTIVITIES.

IF IT BECOMES NECESSARY DURING CONSTRUCTION FOR THE CONTRACTOR TO PLACE A MATERIALS LIEN ON THE PREMISES, IT SHALL BE HIS OBLIGATION TO SUBORDINATE SAME TO PAY SAME OUT OF ANY PROGRESS PAYMENTS AS SET FORTH IN THIS CONTRACT.

SHOULD THE CONTRACTOR FAIL TO PERFORM HIS DUTIES AS OUTLINED IN THE CONTRACT, THE OWNER, AFTER SERVICE OF TEN DAYS WRITTEN NOTICE

(CERTIFIED MAIL), MAY COMPLETE THE UNFINISHED PORTION OF THE WORK AND DEDUCT THE AMOUNT FROM THE CONTRACT TOTAL.

THE FINAL DRAWINGS AND SPECIFICATIONS SHALL BE DETAILED SO THAT ALL ASPECTS OF THE WORK ARE REASONABLY ADDRESSED. BY SUBMITTING A PROPOSAL/BID THE GENERAL CONTRACTOR CERTIFIES THAT HE/SHE IS QUALIFIED TO PERFORM THE WORK AND UNDERSTANDS THE ARCHITECT'S DESIGN INTENT. ANY PART OF THE DRAWINGS AND SPECIFICATIONS DETERMINED TO BE INSUFFICIENT IN DETAIL SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PHASE OF THE PROJECT. ONLY SITE CONDITIONS WHICH ARE CONCEALED PRIOR TO CONSTRUCTION AND UNCOVERED DURING CONSTRUCTION ARE OPEN FOR REVIEW AND INTERPRETATION BY THE ARCHITECT, TOGETHER WITH THE OWNER AND GENERAL CONTRACTOR.

THE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE ARCHITECT, DUPLICATION ALLOWED ONLY WITH WRITTEN PERMISSION.

#### site work:

THE CONTRACTOR SHALL LOCATE, PROTECT, AND MAINTAIN ALL SERVICE AND UTILITY LINES, PROTECT THE SITE FROM EROSION, AND REMOVE ALL DEBRIS. CONTRACTOR TO VERIFY WITH OWNER & ARCHITECT ALL UNDERGROUND SERVICE REQUIREMENTS DURING BIDDING STAGE.

SELECTIVE LANDSCAPING RELOCATION BY OWNER, OTHERWISE ALL CLEARING BY CONTRACTOR AS APPROVED BY OWNER.

THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY SOIL BEARING IS LESS THAN 4000 PSF. DEPTH OF FOOTINGS SHALL BE MINIMUM 3'-0" BASE BELOW FINISHED GRADE, TO UNDISTURBED EARTH. NO FOOTING SHALL BEAR ON FILL MATERIAL. ROCK AND/OR WET AREAS SHALL BE BRIDGED WITH GRADE BEAMS DESIGNED BY THE ARCHITECT.

ALL DISTURBED AREAS SHALL BE RAKED, SEEDED, AND/OR MULCHED BY CONTRACTOR FOR NATURAL DRAINAGE AWAY FROM THE BUILDING.
BID SHALL INCLUDE ALL TOP SOIL REQUIRED TO FINISH THE JOB. EXCESS FILL SHALL BE HAULED AWAY. ALL RETAINING WALLS AND WALKWAYS
SHALL BE FURNISHED AND INSTALLED BY OWNER. BASE BID SHALL INCLUDE ALL TEMPORARY STEPS AND RAILS TO GRADE AS REQUIRED FOR
CERTIFICATE OF OCCUPANCY.

PROVIDE FOOTING DRAINS, RADON VENTS, AND UNDERGROUND LEADER DRAINS AS CALLED FOR IN THE SCOPE OF WORK. IN THE CASE OF ADDITIONS & ALTERATIONS, TIE NEW WORK INTO EXISTING SYSTEMS. FOOTING DRAINS AND LEADER DRAINS SHALL REMAIN SEPARATE, AND RUN OUT TO GRADE W/ COVER OR TO REMOTE APPROVED DRY WELL.

SHOULD THIS CONTRACTOR ENCOUNTER SUB-SURFACE CONDITIONS, INCLUDING, BUT NO LIMITED TO ROCK FORMATIONS, WATER AND OR UTILITIES WHICH REQUIRE ADDITIONAL COSTS AND EXPENSES TO PERFORM THE WORK, SAID ADDITIONAL COSTS SHALL BE PRESENTED TO THE OWNER. THE OWNER SHALL BE PERMITTED TO DETERMINE WHETHER TO PROCEED WITH THE CONTRACT OR VOID THE CONSTRUCTION CONTRACT. PAYMENT FOR ALL ADDITIONAL EXPENSES SHALL BE PAID BY THE OWNER IN ACCORDANCE WITH AND APPROVED CHANGE ORDER.

SURVEY INFORMATION AND STAKE-OUT SERVICES SHALL BE PROVIDED BY OWNER'S ENGINEER / SURVEYOR ON SEPARATE DOCUMENTS.

DESIGN AND DETAIL OF SITE IMPROVEMENTS BY OWNER'S ENGINEER ON SEPARATE DOCUMENTS.

NEW PLANTINGS AND WALKWAYS SHALL BE CONSIDERED LANDSCAPING AND SHALL BE THE RESPONSIBILITY OF THE OWNER.

#### concrete

ALL WORK SHALL CONFORM TO CURRENT ACI-318 STANDARDS. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE MINIMUM 3000 PSI MIX WITH NO ADDITIVES, ALL FOOTINGS SHALL BE FORMED, STEEL REINFORCING AS NOTED IN THE TYPICAL SECTION AT UNEQUAL BEARING CONDITIONS AND WHERE REQUIRED FOR ELECTICAL GROUNDING.

REFER TO TYPICAL SECTION FOR FOOTING AND SLAB DIMENSIONS. ALL FINISHED SLABS SHALL HAVE A STEEL TROWEL FINISH, POURED OVER A 6 MIL VAPOR BARRIER. ALL JOINT LOCATIONS SHALL BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO POUR.

PORCH SLABS AND WALKWAYS SHALL SLOPE AWAY FROM BUILDING @ MINIMUM 1/8" PER 1'-0"

ALL PRECAST CONCRETE LINTELS SHALL BE MINIMUM 5800 PSI WITH STEEL REINFORCING AND MIN. 4" BEARING @ EACH END. SUBMITTAL REUIRED FOR REVIEW AND APPROVAL BY ARCHITECT.

#### masonry:

ALL LIGHTWEIGHT CONCRETE BLOCK SHALL CONFORM TO ASTM-C145. USE TRUSS-TYPE GALV. STL. REINFORCING @ EA. 2ND. COURSE, MIN. 3500 PSI AS PER ASTM-C425. BELOW GRADE BLOCKS SHALL CONFORM TO ASTM-C90. TOP COURSE, JAMB, AND POINT LOAD BLOCK SHALL BE FILLED SOLID W/ CONCRETE. MORTAR AND GROUT SHALL CONFORM TO ASTM-C270, TYPE "M" MORTAR FOR BELOW GRADE CONDITIONS, TYPE "S" FOR ABOVE GRADE CONDITIONS.

ALL POROUS MAT'L. ON EXTERIOR SHALL BE SEALED TO ELIMINATE WATER PENETRATION. BELOW GRADE PLASTERED MASONRY SHALL BE FINISHED WITH SEPARATE WATERPROOFING MATERIAL AS SPECIFIED IN TYPICAL SECTION. ABOVE GRADE MASONRY VENEER SHALL BE FINISHED WITH SILICONE SEALER.

METAL PLATE STRAPS AND/OR  $\frac{1}{2}$  ANCHOR BOLTS SHALL BE SEALED W/ APPROVED NON-CORROSION COATING AND PLACED @ 6'-0" O.C / 1'-0" O.C. @ CORNERS.

#### metals:

ALL WORK SHALL BE SHOP PRIMED, AND CONFORM TO ASTM & AISC STANDARDS FOR CUTTING, INSTALLATION, AND METAL CONTACT. A-36 STANDARD EXCEPT FOR BOLTS WHICH SHALL BE A-325.

SUBMITTAL REQUIRED BY STEEL FABRICATOR FOR FLUSH GIRDER FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

### carpentry & framing:

ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER (Fb 1,200). ALL LUMBER IN DIRECT CONTACT W/ MASONRY SHALL BE PRESSURE TREATED AND SET ON BITUMINOUS SEALER. ALL WOOD SHALL BEAR GRADING STAMPS AND CONFORM TO WMPA, AITC, & APA STANDARDS.

ALL STUDDING SHALL BE @ 16" O.C. W/ (1) BASE PLATE & (2) TOP PLATES W/ MID-HGT. BLOCKING FOR FIRE STOPS AND NAILERS. ALL HEADERS SHALL BE MINIMUM (2) 2"X10" W/  $\frac{1}{2}$ " CDX FOR OPENINGS OF 6'-0" OR LESS. PROVIDE (1) LINER FOR NON-BEARING CONDITIONS, AND (2) LINERS FOR BEARING CONDITIONS.

SECURE TRUSSES TO TOP PLATES W/ METAL HURRICANE CLIPS @ 24" O.C. BALLOON FRAME GABLE ENDWALLS @ CATHEDRAL CEILING

PRE-ENGINEERED LUMBER SHALL BE Fb= 2500, ALL BUILT-UP MEMBERS SHALL BE CONTINUOUSLY GLUED AND SPIKED.

DEFLECTION: I/480 FOR TILE & STONE, I/240 FOR SHEETROCK CEILINGS. ALL BUILT-UP MEMBERS SHALL BE CONTINUOUSLY GLUED AND SPIKED.

PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED, DETAILED AND CERTIFIED BY NEW JERSEY LICENSED ENGINEER TO MEET AND OR EXCEED STRUCTURAL REQUIREMENTS

SPECIFIED BY ARCHITECT, REFER TO GENERAL BUILDING DATA THIS DRAWING.

SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

CONTRACTOR SHALL SUPPLY SPECIFICATIONS AND MANUFACTURER'S DATA UPON REQUEST AS REQUIRED BY BUILDING DEPARTMENT.

#### thermal & moisture protection:

FLASHING AND SHEET METAL WORK SHALL CONFORM TO SMACNA STANDARDS, CONCEALED FLASHING SHALL BE 16 OZ. ALUMINUM, EXPOSED

FLASHING SHALL BE 20 OZ. COPPER OR AS OTHERWISE NOTED ON ELEVATION DRAWINGS.

VENTILATE ALL ATTICS, EAVES, AND SLOPED CEILING AREAS WITH SOFFIT VENTS, PROPER VENTS ABOVE INSULATION, AND RIDGE VENTS.

REFER TO TYPICAL EXTERIOR WALL SECTION FOR INSULATION SPECIFICATIONS.
PROVIDE CONTINUOUS SOUND DEADENING INSULATION AROUND ALL BATHROOMS, LAUNDRY AREAS, AND SOIL LINES IN WALLS. INSULATE PLUMBING SUPPLY LINES IN ALL UNCONDITIONED SPACES.

INSTALL CONTINUOUS PROPER VENTS ABOVE FIBERGLASS INSULATION IN SLOPED CEILING CONDITIONS. WHERE FIBERGLASS INSULATION IS BUILT UP IN MULTIPLE LAYERS, BATTS SHALL BE INSTALLED IN PERPENDICULAR LAYERS.

SEAL ALL OPENINGS AND JOINTS BETWEEN DISSIMILAR MAT'LS WITH CAULKING / FILLER AS APPROVED BY ARCHITECT.
TAPE ALL GAPS IN SHEATHING, APPLY EXPANDED FOAM FILLER TO CLOSE DOOR AND WINDOW UNITS TO INTERIOR OF ROUGH OPENING.

INSTALL AIR INFILTRATION BARRIER OVER WALL SHEATHING, SYNTHETIC FIBER BELOW SIDING, TAR PAPER BELOW MASONRY VENEER. RETURN AIR INFILTRATION BARRIER INTO ROUGH OPENINGS.

METAL GUTTERS AND LEADERS SHALL BE INSTALLED ON ALL NEW FASCIAS W/ DOWNSPOUT LOCATIONS REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. PROVIDE SPLASH BLOCKS OR UNDERGROUND LEADER DRAINAGE SYSTEM AS NOTED.

## thermal & moisture protection (con'd):

ALL AFFECTED AREAS OF THE WORK SHALL BE FINISHED WITH

BOARDS IN BATHROOMS AND LAUNDRY AREAS, AND

\$\frac{7}{8}\text{"} FIRE-COTE GYPSUM BOARD IN RATED WALL AND CEILING ASSEMBLIES WHERE ATTACHED GARAGE CONDITIONS OCCUR. ALL BOARDS SHALL RECEIVE THREE COATS OF SPACKLE W/ SANDING BETWEEN COATS.

REFER TO EXTERIOR WALL SECTION FOR GENERAL ROOFING SPECIFICATIONS. IN ALL CASES PROVIDE ICE & WATER SHIELD IN ALL VALLEY AND EAVE CONDITIONS INCLUDING RAKE. INSTALL METAL DRIP EDGE MATERIAL ABOVE FASCIAS, SECURE W/ ADHESIVE.

#### doors & window

EXTERIOR DOORS SHALL BE PRE-HUNG SIMPSON PERFORMANCE SERIES UNITS FURNISHED WITH AUTO CLOSURE DEVICE, BARRIER FREE ALUMINUM SADDLE, BARRIER FREE LEVER LOCK SET, CONTINUOUS WEATHER STRIPPING, STAIN GRADE FIR FINISH BOTH SIDES, NICKEL PLATED HARDWARE, MODEL F7010.

INTERIOR DOORS SHALL BE PRE HUNG STEVES MDF 2 PANEL SOLID CORE UNITS, PAINT GRADE W/ BARRIER FREE SADDLE, BARRIER FREE LEVER LOCKSET, BRUSHED NICKEL HARDWARE INCLUDING GRAVITY HINGES AND MATCHING DOOR STOP. DUTCH DOOR SHALL BE STOCK UNIT MODIFIED ON SITE AS REVIEWED AND APPROVED BY ARCHITECT.

SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

UNDER CUT ON INTERIOR DOORS LIMITED TO THREE QUARTERS OF AN INCH MAXIMUM, ALL WITH WOOD OR MARBLE SADDLES AS REQUIRED IN AREAS OF TRANSITION.

CONTRACTOR SHALL INCLUDE IN BASE BID INSULATED ACCESS DOORS / HATCH TO ALL CONCEALED SPACES, ALLOWING FOR MAINTENANCE

ALL WINDOWS SHALL BE ANDERSEN 400 SERIES, FULL FRAME, TW INSERT SERIES W/ STOCK INSULATED GLASS AND WHITE FINISHED HARDWARE AND SCREENS

SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

EXTENSION JAMBS SHALL BE INCLUDED IN BASE BID TO CO-ORDINATE WITH SPECIFIED FRAMING DIMENSION.

CONTRACTOR SHALL VERIFY REQUIREMENTS FOR SAFETY GLASS CONDITIONS WITH THE ARCHITECT AND WINDOW SUPPLIER PRIOR TO PLACING WINDOW ORDER

#### finishes

ALL FINAL FINISHES (MATERIALS & COLORS) SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION

ALL EXTERIOR SIDING & TRIM SHALL BE SANDED, PRIMED & BACK PRIMED PRIOR TO FINAL FINISH.

ALL EXTERIOR WOOD SIDING & TRIM SHALL BE SECURED W/ ZINC COATED NAILS, SET FLUSH FOR STAIN AND SUNK FOR PUTTY & PAINT.

BASE BID FOR HORIZONTAL SIDING AND SIMULATED CEDAR SHAKE SIDING SHALL BE BASED UPON CEMENT BOARD PRODUCT MANUFACTURED BY HARDI-PLANK OR APPROVED EQUAL.

AS AN ALTERNATE, SUBSTITUTE DIAMOND KOTE SMART SIDING FOR CEMENT BOARD PRODUCT, INCLUDING SIMULATED SHAKES.
SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

ALL INTERIOR WALLS AND CEILINGS SHALL BE PRIMED AND PAINTED W/ TWO COATS OF LATEX / ENAMEL PAINT, EGGSHELL FINISH ON WALLS, FLAT OR LOW-GLOSS ON CEILINGS. BASE BID SHALL INCLUDE CHOICE OF OFF-WHITE COLORS FROM MANUFACTURER'S CHART.
WITH RENOVATIONS, ALL AFFECTED SURFACES SHALL PATCHED TO MATCH AS APPROVED BY ARCHITECT DURING BIDDING PROCESS

ALL INTERIOR TRIM SHALL BE PAINT GRADE POPLAR WITH SANITARY PROFILE. REINFORCE ALL CORNERS W/ WOOD WAFERS AND GLUE.

NON-SLIP PORCELAIN CERAMIC FLOOR TILES SHALL BE SECURED TO SLAB W/ THIN-SET ADHESIVE AND GROUTED..
SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.
CROSSVILLE OR APPROVED EQUAL.

NON-SLIP VINYL COMPOSITION TILES SHALL BE SECURED TO SLAB W/ THIN-SET ADHESIVE. SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION. ARMSTRONG OR APPROVED EQUAL.

CARPET TILES SHALL BE COMMERCIAL GRADE NYLON SECURED TO THE SLAB WITH APPROVED ADHESIVE, SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

A. TANDUS COMPANY OR APPROVED EQUAL.

#### equipment & specialtie

#### furnishings & special construction:

ALL EQUIPMENT, TELEPHONE, CABLE, SECURITY, & WATER MODIFICATION SYSTEMS SHALL BE FURNISHED AND INSTALLED BY OWNER.

CONTRACTOR SHALL INCLUDE IN BASE BID ALLOWANCES FOR ALL LAVATORY ACCESSORIES INC. B.F. APPROVED MIRROR ABOVE SINK, GRAD BARS, PAPER HOLDERS, AND MATCHING WASTE HOLDER W/ LID.

SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO FABRICATION.

ALL MILLWORK UNITS (MW-I) SHALL BE BID AS ALLOWANCES TO MATCH SPECIFIED TRIM MATERIAL AND FINISH. FINAL DESIGN BY CABINET MAKER AS REVIEWED AND APPROVED BY OWNER & ARCHITECT.

QUARTZ COUNTER TOP. OPERABLE DOORS BELOW, NICKEL PLATED HARDWARE.

DURING THE BIDDING PHASE OF THE PROJECT, THE OWNER SHALL FURNISH TO THE BIDDERS A COMPLETE LIST OF ALL GOLF EQUIPMENT, SURFACES AND ACCESSORIES. THE SPECIFICATIONS SHALL INCLUDE SIZES, MATERIALS, ANY AND ALL POWER REQUIREMENTS AND ACCESS FEATURES. CONTRACTORS BASE BID SHALL INCLUDE ALL ROUGH-IN WORK.

FINAL INSTALLATION AND TESTING OF GOLF EQUIPMENT SHALL BE BY OWNER WITH CONTRACTOR PROVIDING ONLY SUPPORT AND ASSISTANCE.
FURNITURE, DECORATIVE ELEMENTS, ENTERTAINMENT EQUIPMENT, SHELVING, LOCKERS AND NON-SPECIFIED CABINETRY SHALL BE FURNISHED AND INSTALLED BY OWNER.

## plumbing, mechanical and electrical:

REFER TO DRAWINGS AND SPECIFICATIONS PREPARED BY PME ENGINEER ON SEPARATE DOCUMENTS.

### applicable

#### building code

as adopted by the new jersey uniform construction code

international building code 2018

national standard plumbing code 2015

international energy

conservation code 2018

national electrical code nfpa 2017

international mechanical code 2018

international residential code 2018 international fuel gas code 2018

njucc chapter 6 rehabilitation code 2018 barrier free subcodeicc/ansi

elevator subcode ( asme ) 2018

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bldg. section c-c

east elevation

schedules & details

all plumbing, mechanical, and electrical drawings and specifications prepared by PME engineer on separate

all site plan drawings and specifications prepared by civil engineer on separate documents

documents



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### project title:

proposed golf house learning center @ monmouth university department of athletics 400 cedar avenue west long branch, nj

#### drawing title:

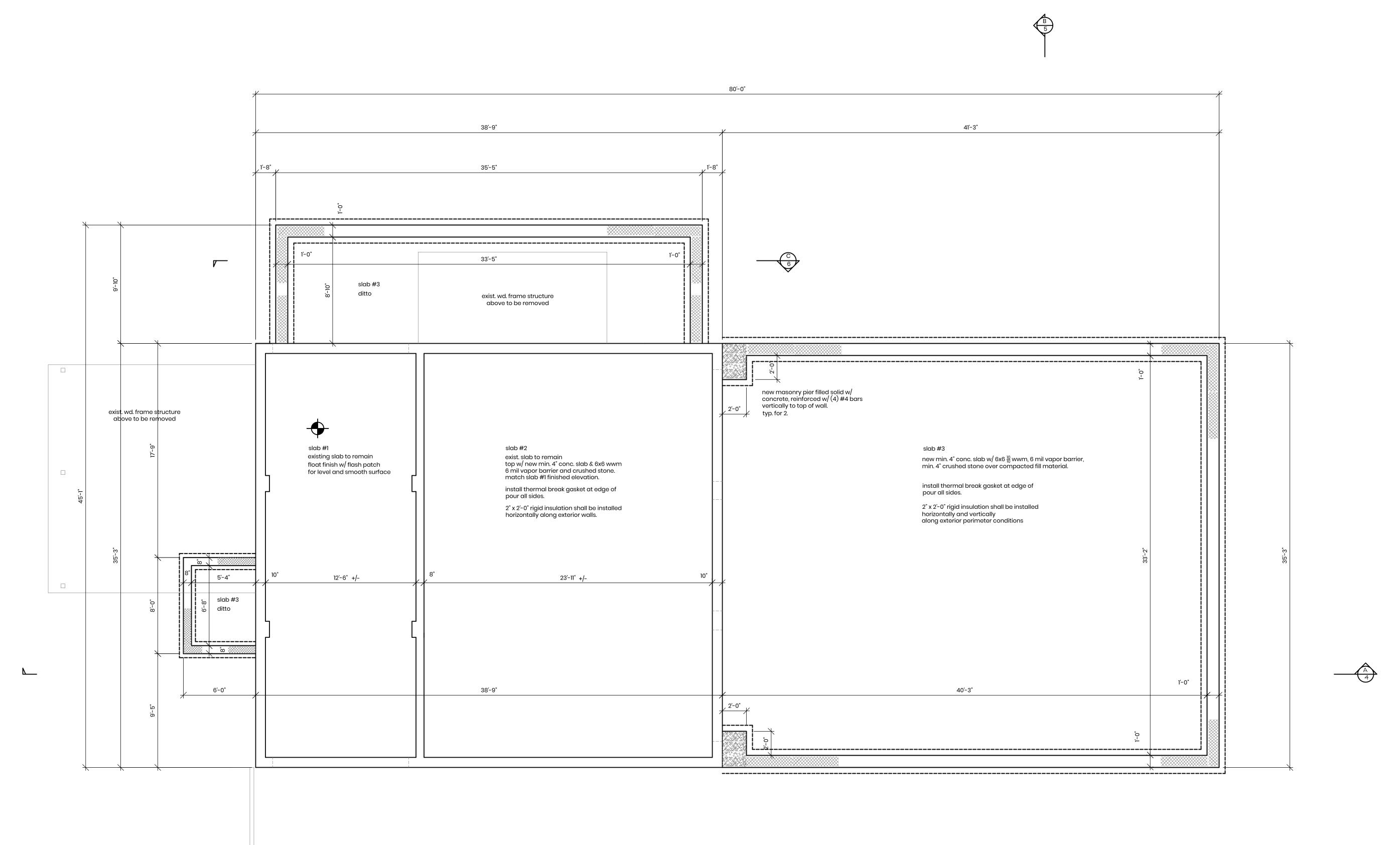
specifications

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exist. wd. frame structure

above to be removed

fta C fada plan

scale:  $\frac{1}{4}$ " = 1'-0"

project north



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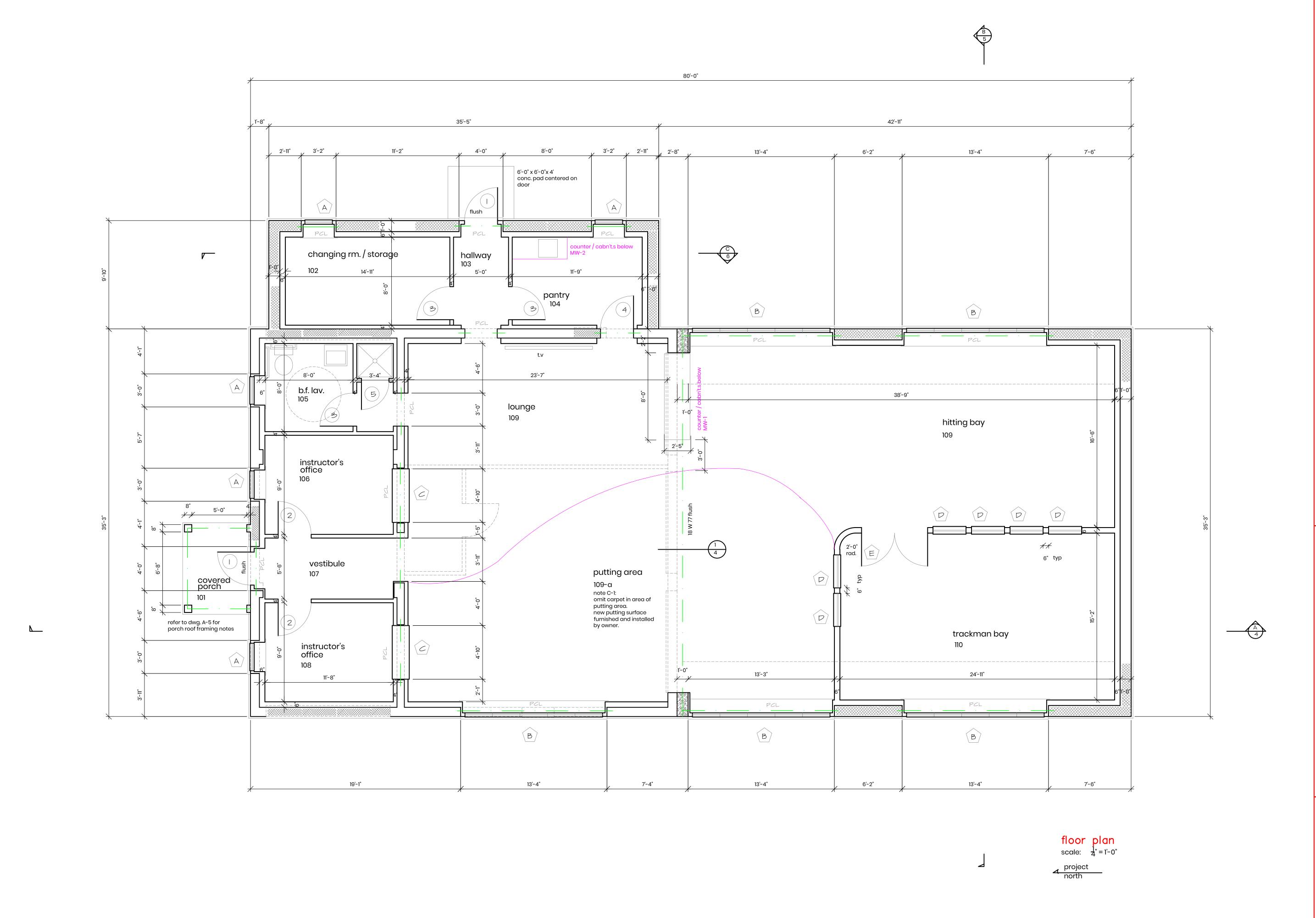
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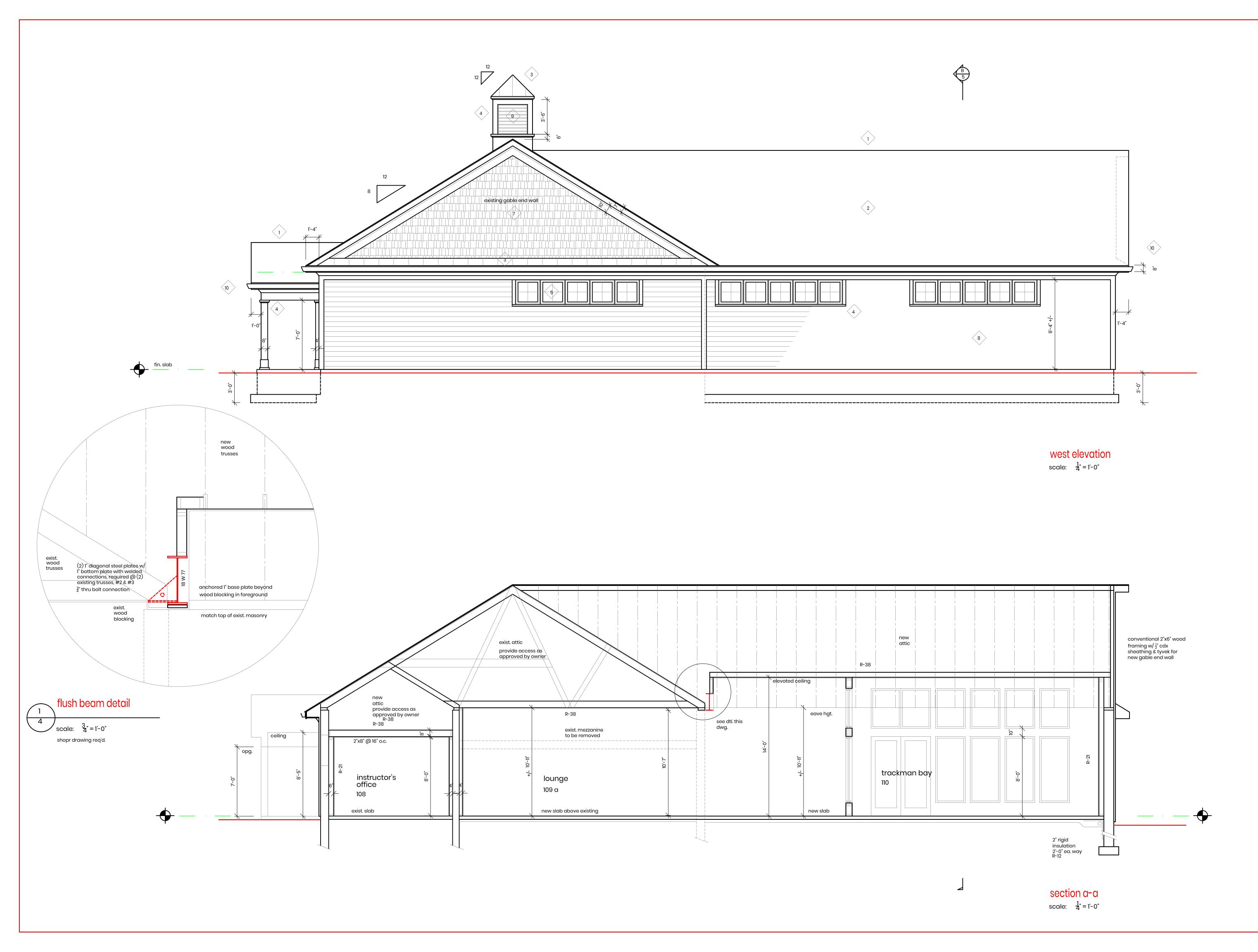
## drawing title:

floor plan

Drawn By: eob

Final Date: 10-04-19

Project Number: 2084.18



## mat l.s legend:

- ( ) continuous ridge vent
- 30 yr. dimensional asphalt shingles over 30 lb. roof papaer
- 22 gauge standing seam copper roofing
- ₹composite trim ( boral or approved equal )
  typ. for all flat stock and moldings @ fascias, rakes, frieze boards, & casings
- andersen 400 series full frame TW insert windows 5 refer to dwg. A-1 for specifications
- dougļas fir exterior door (simpson or approved equal) with
- low-e safety sall safety glass, lever / lock set and barrier-free saddle.
- simulated cedar shake composite siding simulated composite
- clap board siding refer to dwg. A-1 for specifications & alternate.

composite screened

5" K-Style aluminum gutter w/ leaf screens, matching rectanular gutters and concrete splash blocks.



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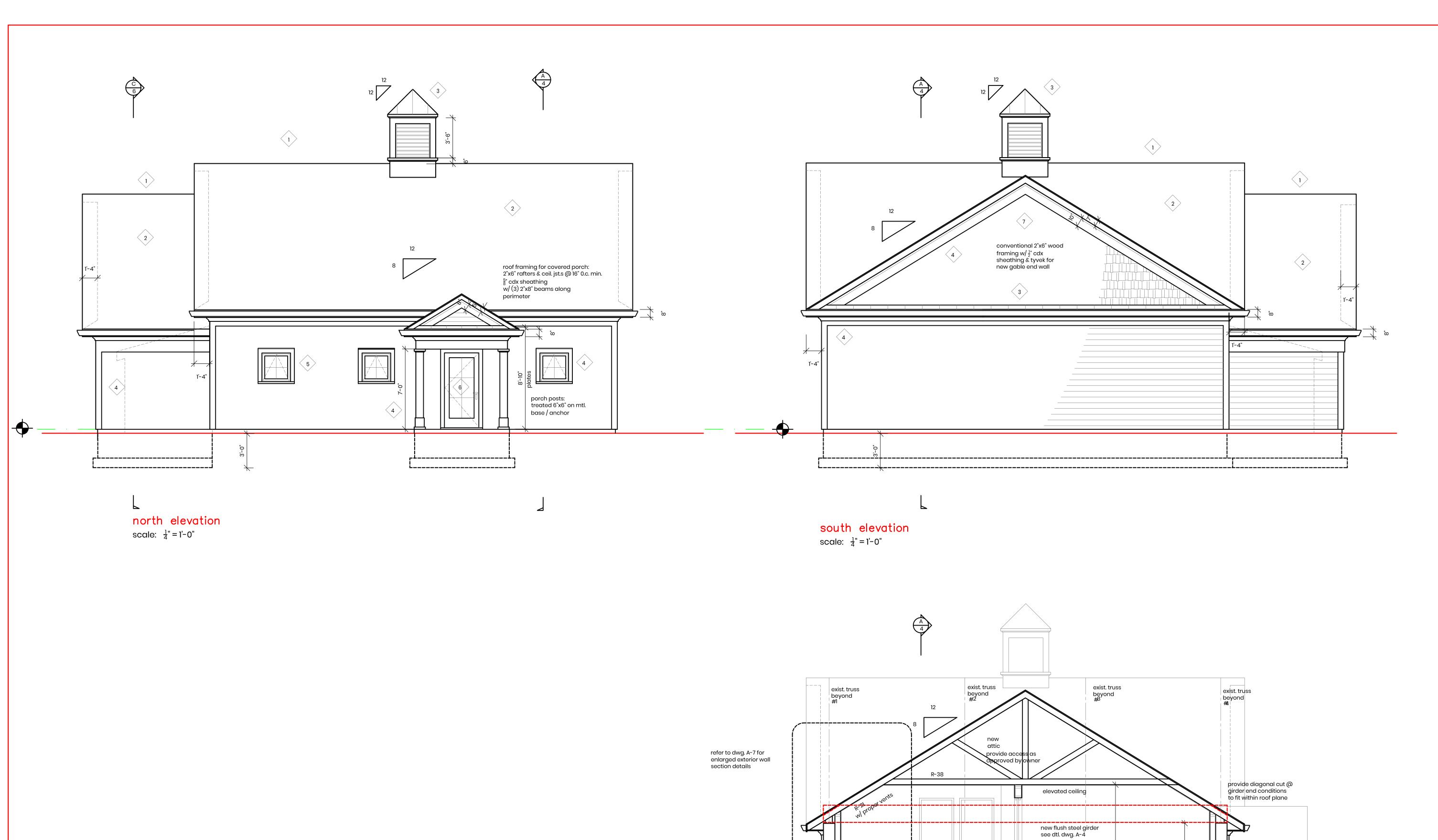
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west elevation section a-a

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30 yr. dimensional asphalt shingles over 30 lb. roof papaer

22 gauge standing seam copper roofing

4 typ. for all flat stock and moldings @ fascias, rakes, frieze boards, & casings

andersen 400 series full frame TW insert windows refer to dwg. A-1 for specifications

douglas fir exterior door (simpson or approved equal) with low-e safety sdl safety glass, lever / lock set '

and barrier-free saddle. simulated cedar shake

composite siding simulated composite clap board siding

refer to dwg. A-1 for specifications & alternate. composite screened

louver

5" K-Style aluminum gutter w/ leaf screens, matching rectanular gutters and concrete splash blocks.



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proposed golf house learning center @ monmouth university department of athletics 400 cedar avenue

## drawing title:

hitting bay

new slab

section b-b

scale:  $\frac{1}{4}$ " = 1'-0"

109

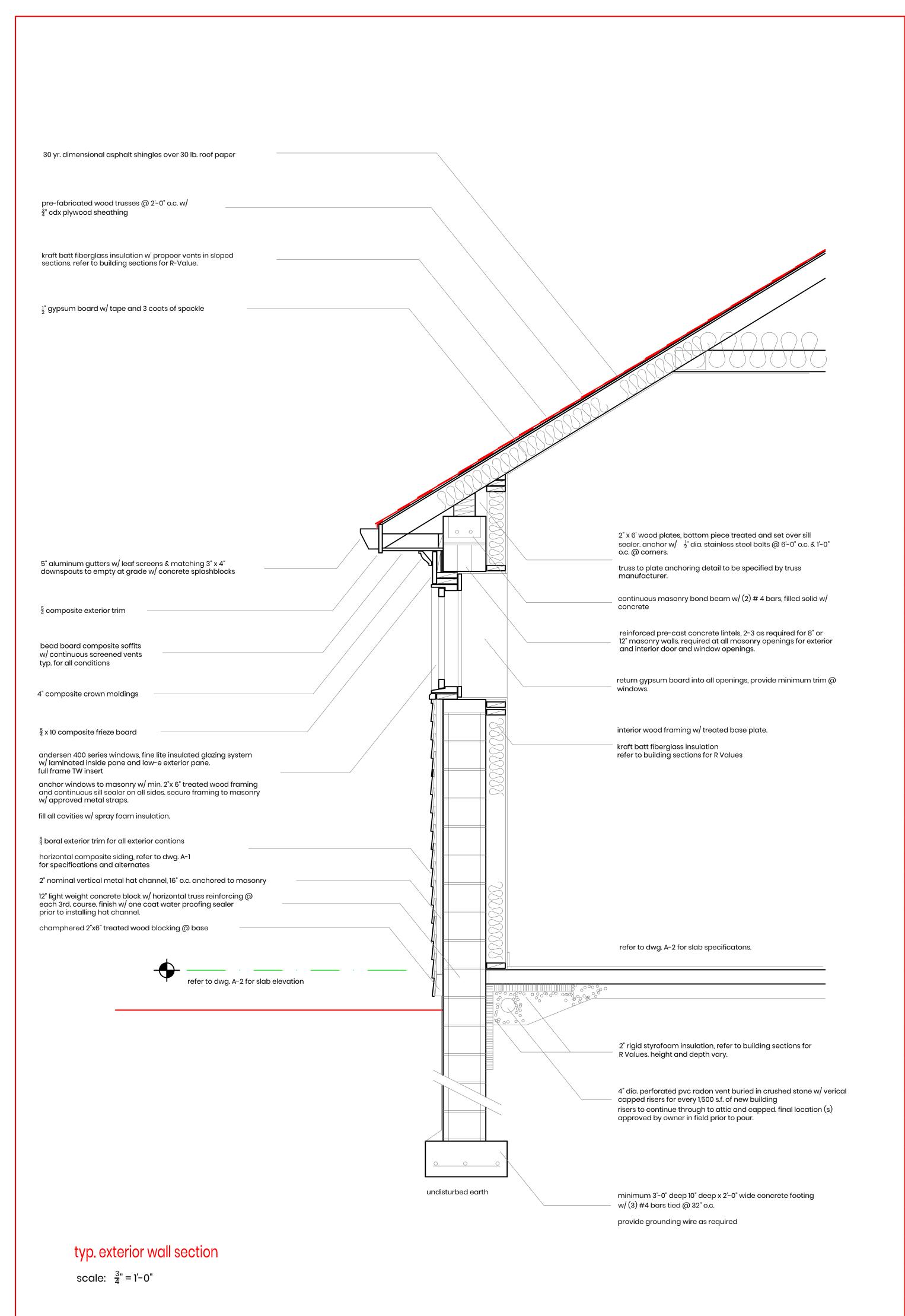
trackman bay

2" rigid insulation 2'-0" ea. way R-12

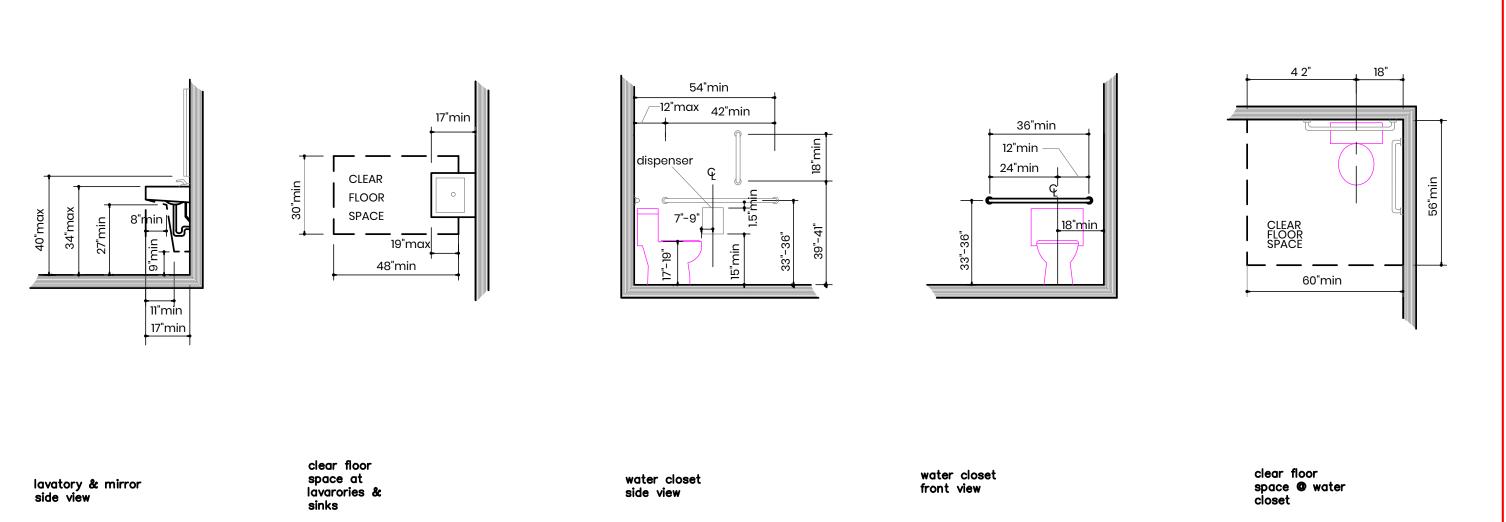
north & south elevations building section b-b Drawn By: eob

Project Number: 2084.18

Final Date: 10-04-19



barrier-free details abbreviations



### door & window schedule

symbol	type	size:	opening	hardware :	notes:
1	exterior full lite glazing	true 3'-0" x 6'-8" x 1 <sup>3</sup> / <sub>4</sub> "	masonry	lever / lockset auto closure	barrier free saddle
2	interior 2 panel	true 3'-0" x 6'-8" x 1 \frac{3}{4}"	wood framing	lever / lockset gravity hinges	half lite single glazing
3	interior 2 panel	true 3'-0" x 6'-8" x 1 <sup>3</sup> / <sub>4</sub> "	wood framing	lever / lockset gravity hinges	
4	interior 2 panel	true 3'-0" x 6'-8" x 1 <sup>3</sup> / <sub>4</sub> "	masonry	lever / lockset gravity hinges	dutch door, raised upper and lower panels
5	interior 2 panel	true 2'-6" x 6'-8" x 1 <sup>3</sup> / <sub>4</sub> "	wood framing	lever / lockset gravity hinges	
6	interior pair full lite glazing	true 6'-0" x 8'-0" x 1 <sup>3</sup> / <sub>4</sub> "	wood framing	lever / lockset gravity hinges	matching 4'-0" h. transom above
Â	awning	2'-6" x 2'-6"	masonry	stock screens and hardware	
B	mulled awning set	(5) 2'-6" x 2'-6"	masonry	non-operable fixed units	
(C)	fixed single glazed	5'-0" x 4'-0"	masonry wrap around mtl. frame	non-operable fixed units	
D	fixed single glazed	3'-0" x 6'-8"	wood framing	non-operable fixed units	matching 4'-0" h. transom above

## interior finish schedule

room number	room name:	flooring:		base/ wainscote:		walls:		ceiling:		trim:		notes:
Hallibol		mat'l.	finish	mat'l.	finish	mat'l.	finish	mat'l.	finish	mat'l.	finish	
101	covered porch	concrete	sealer	4" high vinyl				composite bead board	(1) primer (2) enamel			
102	changing rm. / storage	1'-0" x 1'-0" vct		4" high vinyl		½" gypsum board	(1) primer (2) enamel	½" gypsum board	(1) primer (2) enamel	½" gypsum board or poplar	(1) primer (2) enamel	
103	hallway	1'-0" x 1'-0" porcelain tile		4" high porcelain tile		½" gypsum board	(1) primer (2) enamel	½" gypsum board	(1) primer (2) enamel			
104	pantry	1'-0" x 1'-0" vct		4" high vinyl		½" gypsum board	(1) primer (2) enamel	½" gypsum board	(1) primer (2) enamel			
105	b.f lavatory	1'-0" x 1'-0" porcelain tile		4" high porcelain tile		water-resist. ½" gypsum board	(1) primer (2) enamel	water-resist. ½" gypsum board	(1) primer (2) enamel			
106	instructor's office	nylon carpet over padding		4" high vinyl		½" gypsum board	(1) primer (2) latex	½" gypsum board	(1) primer (2) latex			
107	vestibule	1'-0" x 1'-0" porcelain tile		4" high porcelain tile		½" gypsum board	(1) primer (2) enamel	½" gypsum board	(1) primer (2) enamel			
108	instructor's office	nylon carpet over padding		4" high vinyl		½" gypsum board	(1) primer (2) latex	½" gypsum board	(1) primer (2) latex			
109 109 a	lounge hitting bay putting area	18"X18"+/- nylon carpet tiles		4" high vinyl		½" gypsum board	(1) primer (2) latex	½" gypsum board	(1) primer (2) latex			see note c-1 dwg. A-3
110	trackman room	18"X18"+/- nylon carpet tiles		4" high vinyl		½" gypsum board	(1) primer (2) latex	½" gypsum board	(1) primer (2) latex			

CF CUBIC FOOT CEIL CEILING CONC CONCRETE CONT CONTINUOUS DIA DIAMETER DWG DRAWING EACH EQUAL EXIST EXISTING FL.DR FLOOR DRAIN FTG FOOTING GALV GALVANIZED GLASS GL HOLLOW METAL INSUL INSULATED MANUFACTURER MILLIMETER MINIMUM MASONRY OPENING MTL METAL MILL WORK NOT IN CONTRACT NOM NOMINAL NTS NOT TO SCALE OPG OPENING PLATE PCL PRECAST CONC. LINTEL REIN REINFORCED REQD REQUIRED REV REVISION **ROUGH OPENING** SAFETY GLASS SQUARE FEET STL T&G TONGUE & GROOVE TYP TYPICAL VCT VINYL COMPOSITION VERTICAL VERT VERIFY IN FIELD WITH WITHOUT WATER RESISTANT WEIGHT

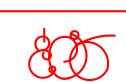
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schedules & details

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